

KEY

- Site boundary
- Other Citizen land
Not an absolute record; other areas shown on this plan may be owned by Citizen Housing

Rev.	Date	Description	Drwn.
B	07.10.22	PLANNING ISSUE. Red line updated to meet adopted highway	RM

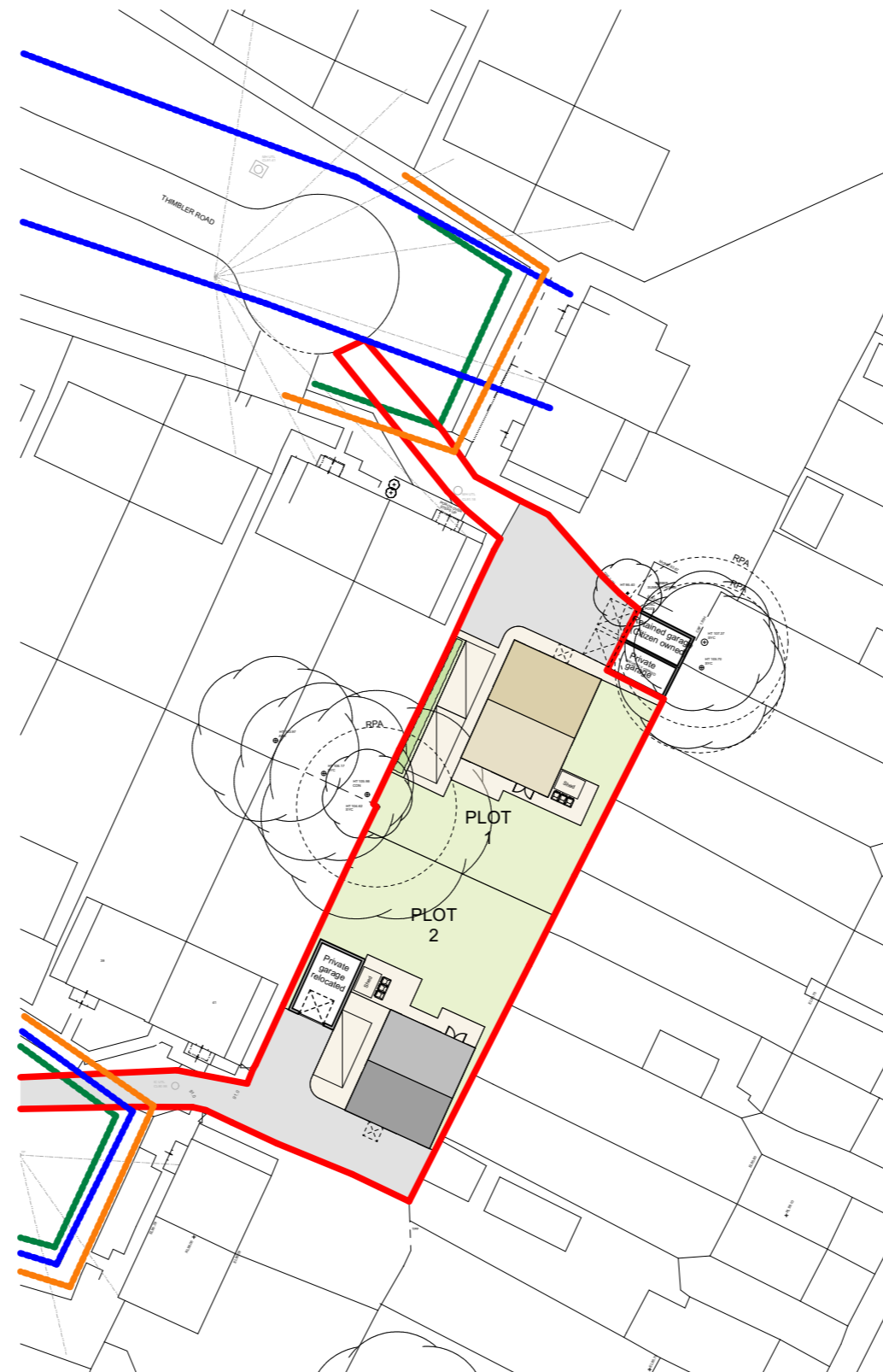
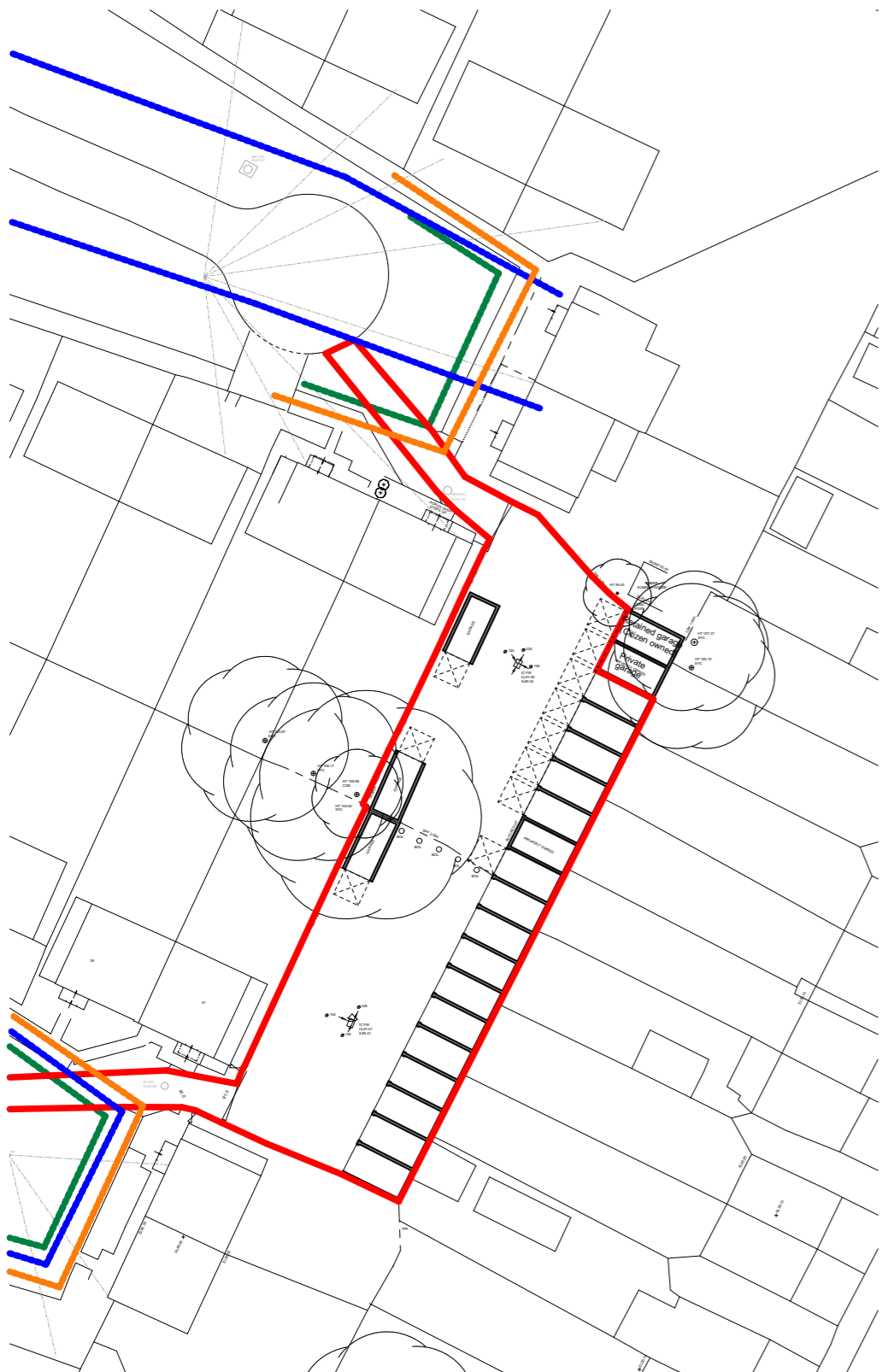
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 Issuing Office Tel
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 Website
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Drawing Title
Sites 014 & 128 Thimbler Road Site Location Plan
 Project
 Coventry Garage Sites
 Client
 [REDACTED]
 Scales @ A4 First Issue Date Drawn Check
 1:1250 September 2022 HC RM
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
 N1697_456_B_ [3] - PLANNING



Halsall Lloyd Partnership
 ARCHITECTS & DESIGNERS



KEY

- Existing underground electricity cable route
- Existing underground BT cable route
- Existing underground gas route

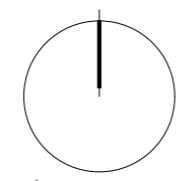
N.B. Garages not surveyed internally

Existing garages plan 1:500
Scale

Proposed garages plan 1:500

Rev.	Date	Description	Drwn.	Check
C	07.10.22	PLANNING ISSUE. Red line updated to meet adopted highway	RM	CS
B	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC	RM
A	26.09.22	Garden fence amended.	KG	RM

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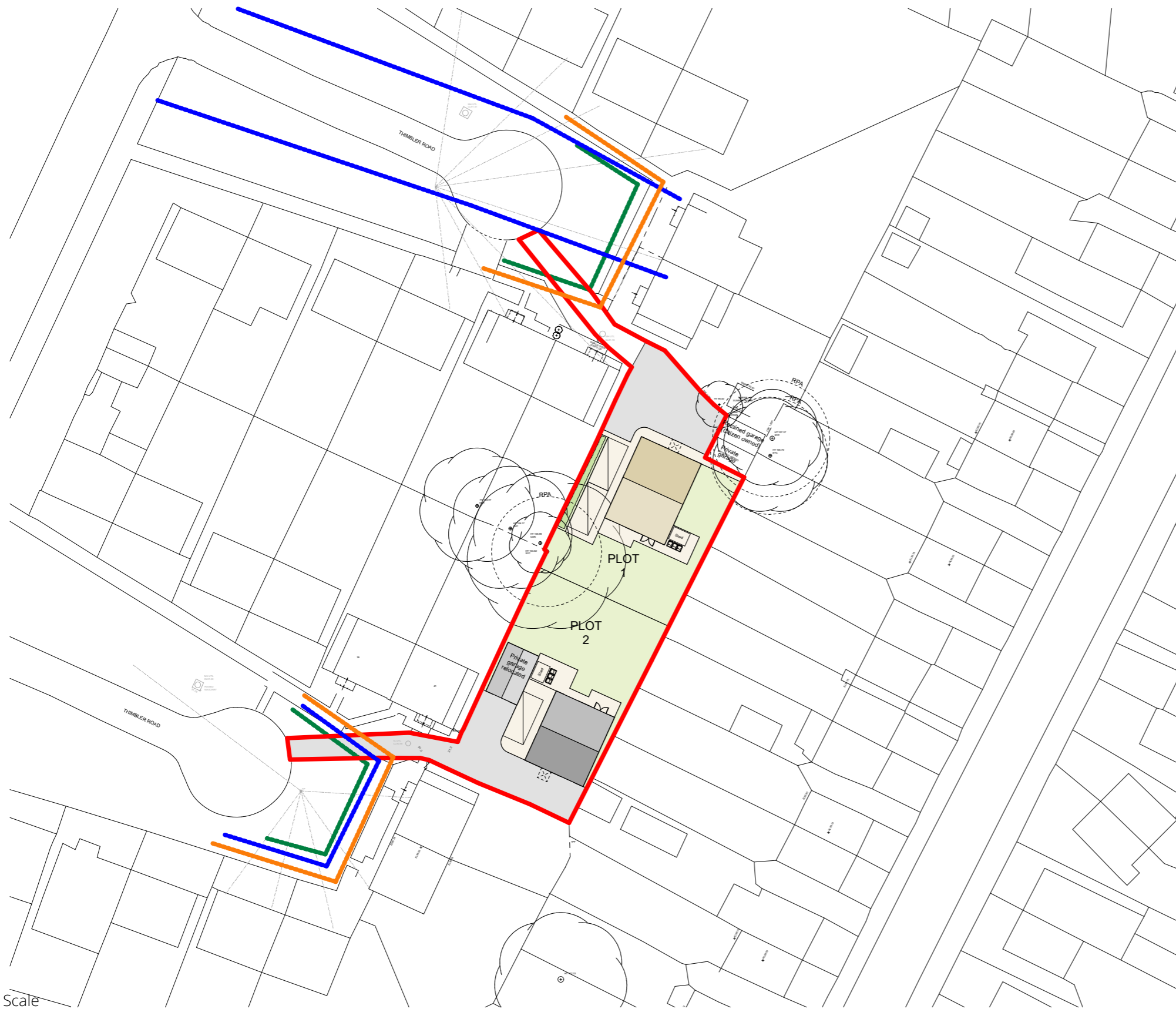
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Drawing Title
Sites 014 & 128 Thimbler Road Existing & Proposed Garages Plan
 Project
 Coventry Garage Sites
 Client
 [Redacted]
 Scales @ A3
 1:500
 Job Number _ Dwg. No. _ Revision
 N1697_459_C_









First Issue Date
 September 2022
 [RIBA Stage] - Drawing Status
 [3] - PLANNING

Drawn
 HC
 Check
 RM





KEY

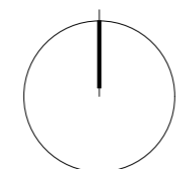
-  Gardens
-  Hard surfacing/ parking
-  Existing underground electricity cable route
-  Existing underground BT cable route
-  Existing underground gas route
-  1B2P Bungalow
-  2B3P Bungalow
-  Existing tree with RPA

Schedule of Accommodation

1B2P bungalow	1no
2B3P bungalow	1no
Replacement garage	
TOTAL	2no
Parking	3no spaces

Rev.	Date	Description	Drwn.	Check
H	12.12.22	PLANNING ISSUE. Updated following planning comments (06.12.22) for resubmission	RM	
G	07.10.22	PLANNING ISSUE. Red line updated to meet adopted highway	RM	CS
F	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC	RM
E	26.09.22	Garden fence amended for PLANNING ISSUE.	KG	RM
D	05.09.22	PLANNING ISSUE. Updated following receipt of topo survey	RM	
C	03.03.22	Updated following client/ resident comments	RM	MJ
B	01.02.22	Updated following client/ resident comments	RM	MJ
A	06.12.21	PRE-APP ISSUE. Updated following site visit	RM	MJ

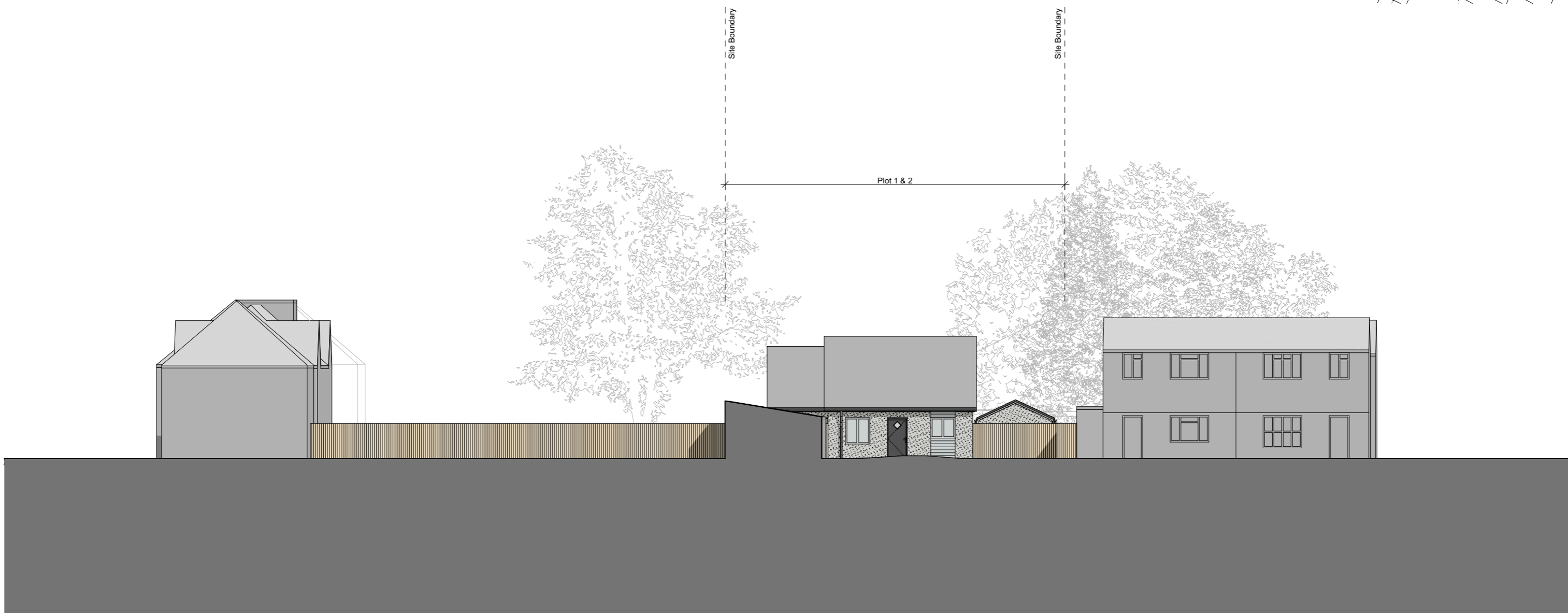
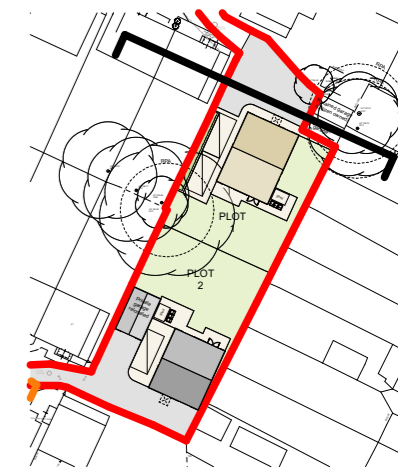
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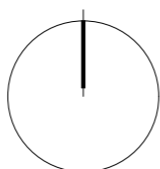
Drawing Title
 Sites 014 & 128 Thimbler Road Proposed Site Layout
 Project
 Coventry Garage Sites
 Client
 Scales @ A3 First Issue Date Drawn Check
 1:500 June 2021 LT MJ
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
 N1697_455_H_ [3] - PLANNING





Scale

Rev.	Date	Description	Drwn.	Check
C	12.12.22	PLANNING ISSUE. Updated following planners comments (06.12.22) for resubmission	RM	
B	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC	RM
A	03.10.22	PLANNING ISSUE. Housetype updated following client comments	RM	



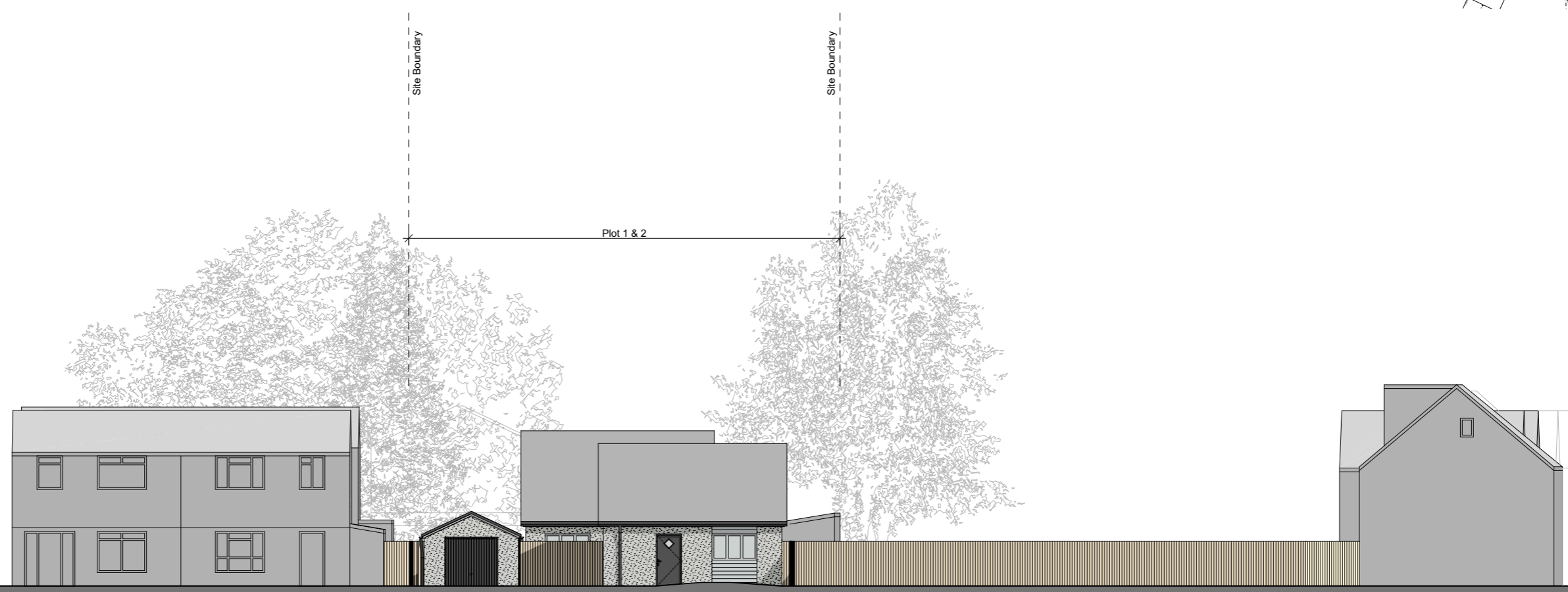
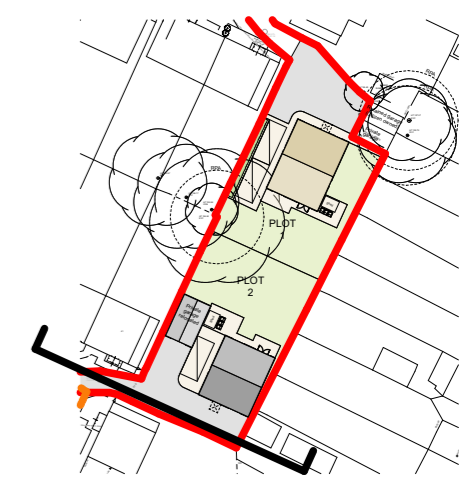
North

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Drawing Title
Sites 014 & 128 Thimbler Road Proposed Elevation 1
 Project
 Coventry Garage Sites
 Client
 [Redacted]
 Scales @ A3 First Issue Date Drawn Check
 1:200 September 2022 HC RM
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
 N1697_2106_C_ [3] - PLANNING



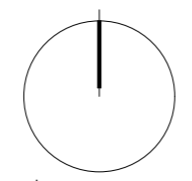
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Scale

Rev.	Date	Description	Drwn.	Check
C	12.12.22	PLANNING ISSUE. Updated following planners comments (06.12.22) for resubmission	RM	
B	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC	RM
A	03.10.22	PLANNING ISSUE. Housetype updated following client comments	RM	

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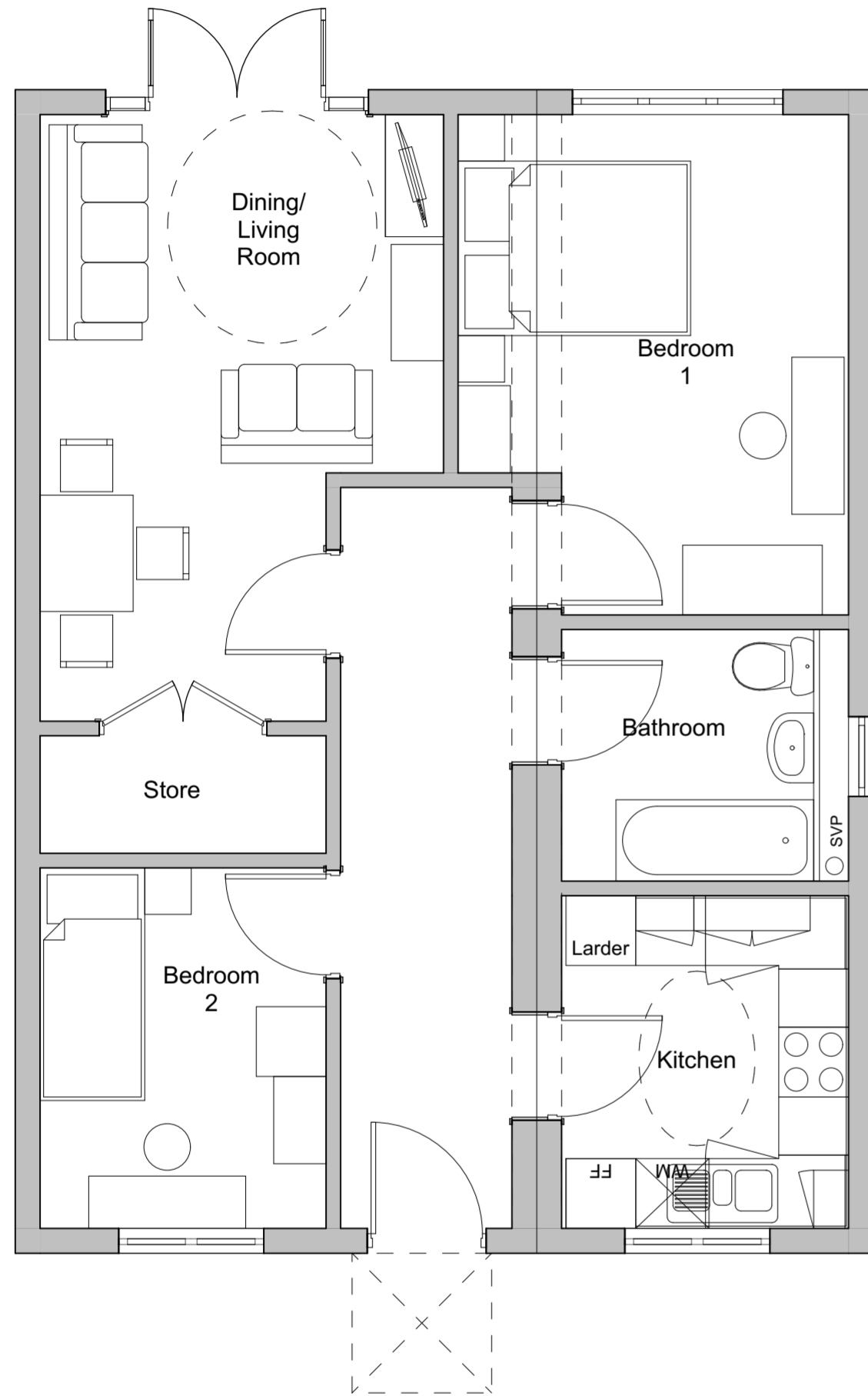
North

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Drawing Title
Sites 014 & 128 Thimbler Road Proposed Elevation 2
 Project
 Coventry Garage Sites
 Client
 [REDACTED]
 Scales @ A3 First Issue Date Drawn Check
 1:200 September 2022 HC RM
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
 N1697_2108_C_ [3] - PLANNING



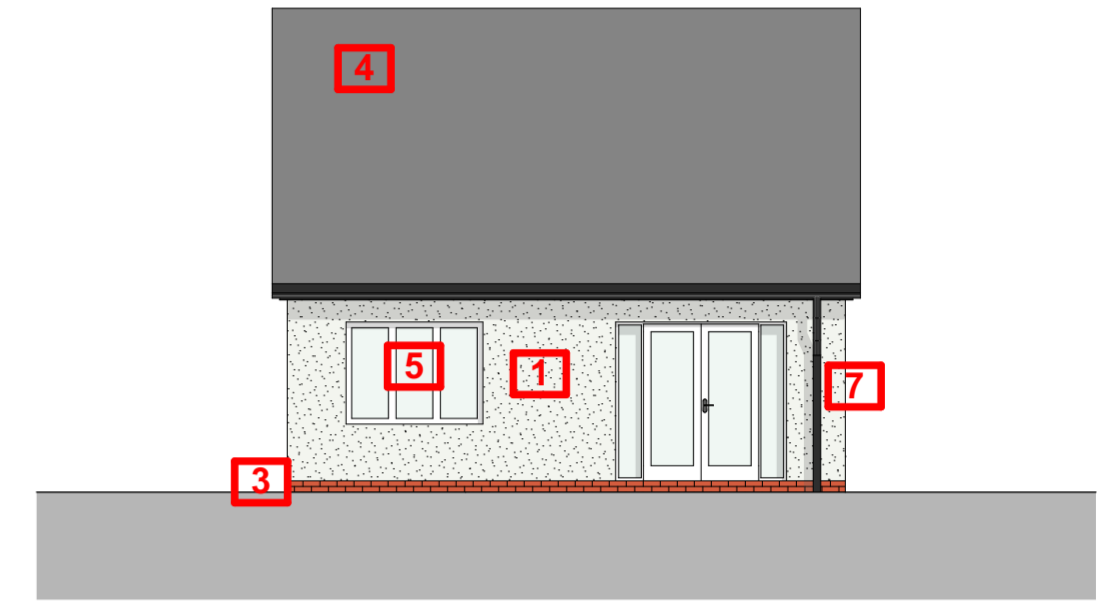
Thimbler Road 2B3P Bungalow GIFA - 66.6sqm



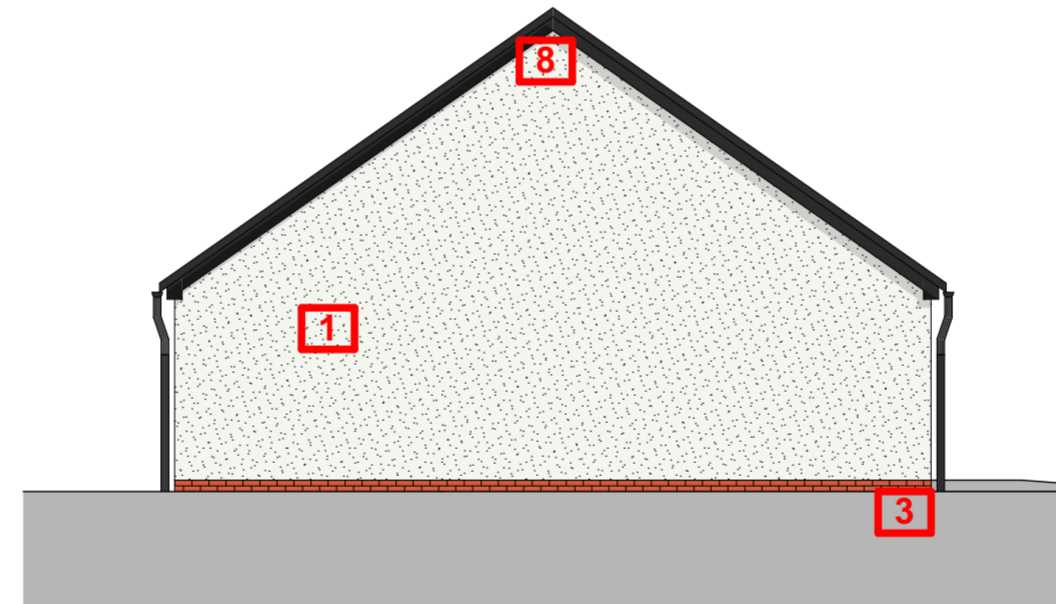
Ground floor plan
1:50



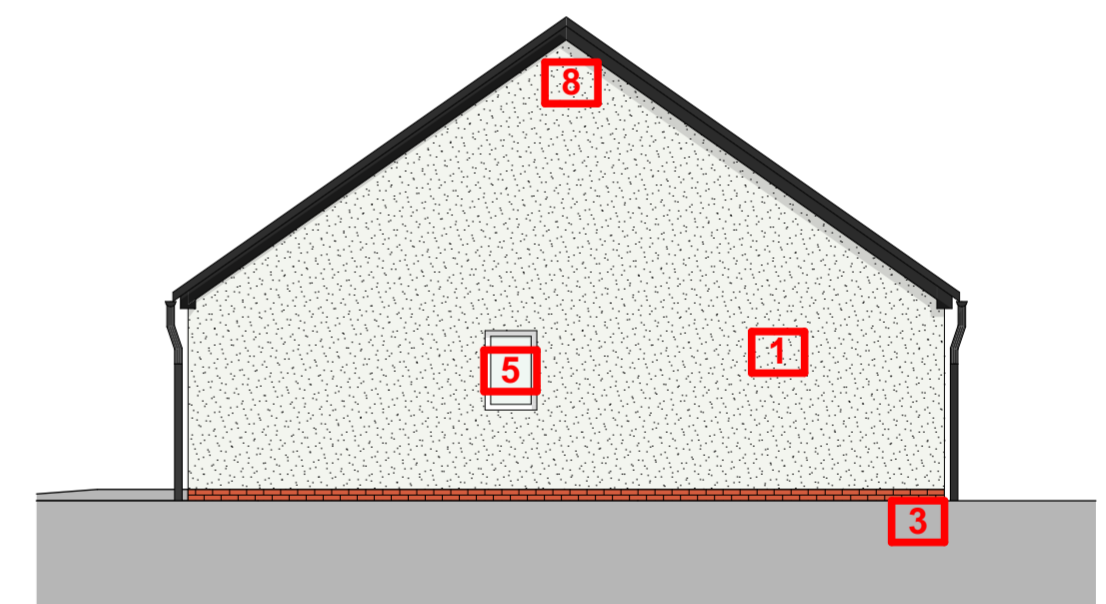
Front elevation
1:100



Rear elevation
1:100



Side elevation
1:100

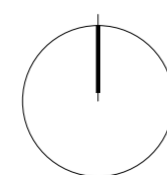


Side elevation
1:100

- 1** Render
White
- 2** Horizontal cladding feature panel
White composite board
- 3** Brick
Red brick below DPC level
- 4** Concrete roof tile
Grey/ brown to match surrounding buildings
- 5** Windows
White uPVC
- 6** Composite front door
Black uPVC
- 7** Rainwater goods
Black uPVC
- 8** Soffit/ fascia
White uPVC

Rev.	Date	Description	Drwn.	Check
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Scale



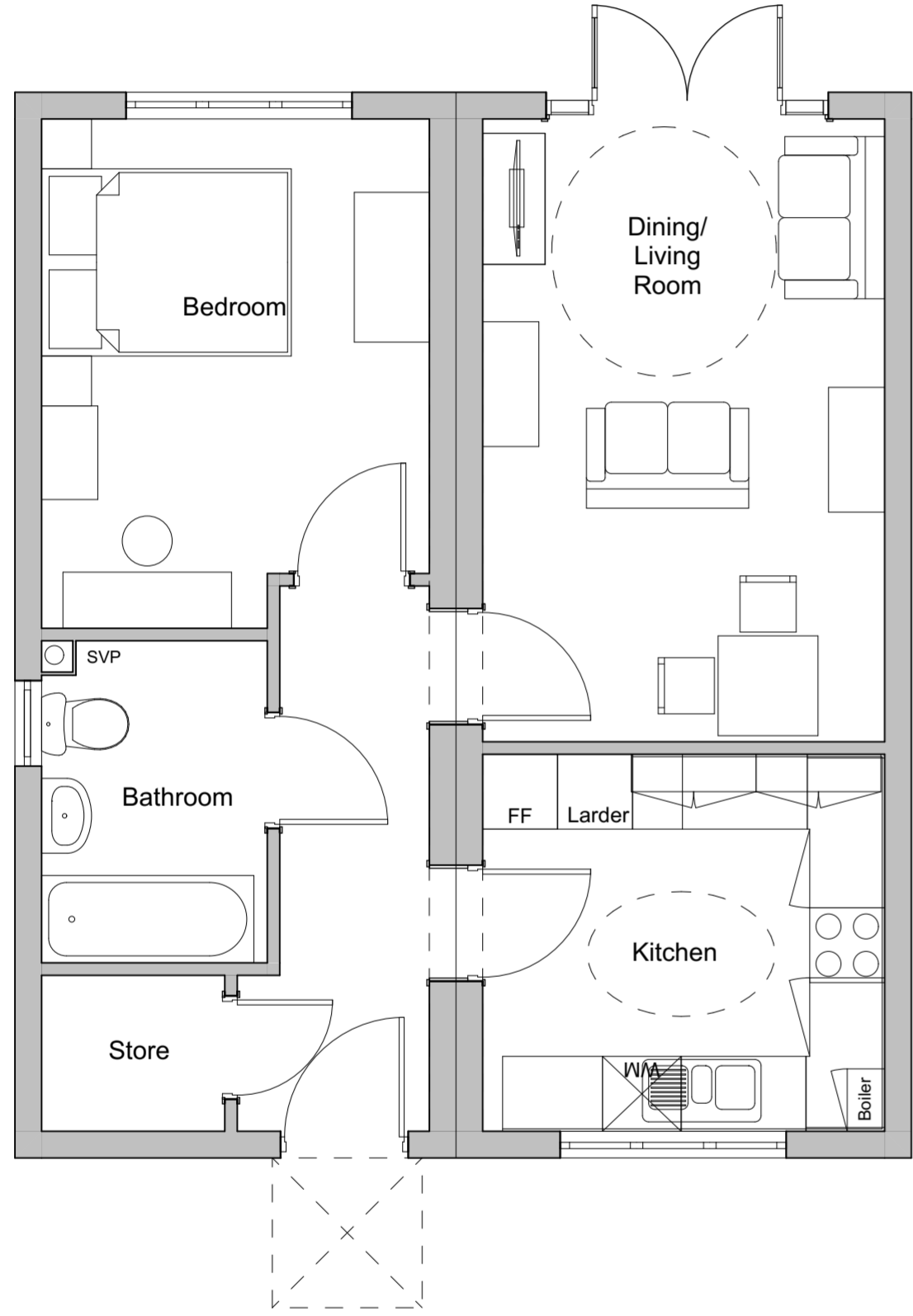
North

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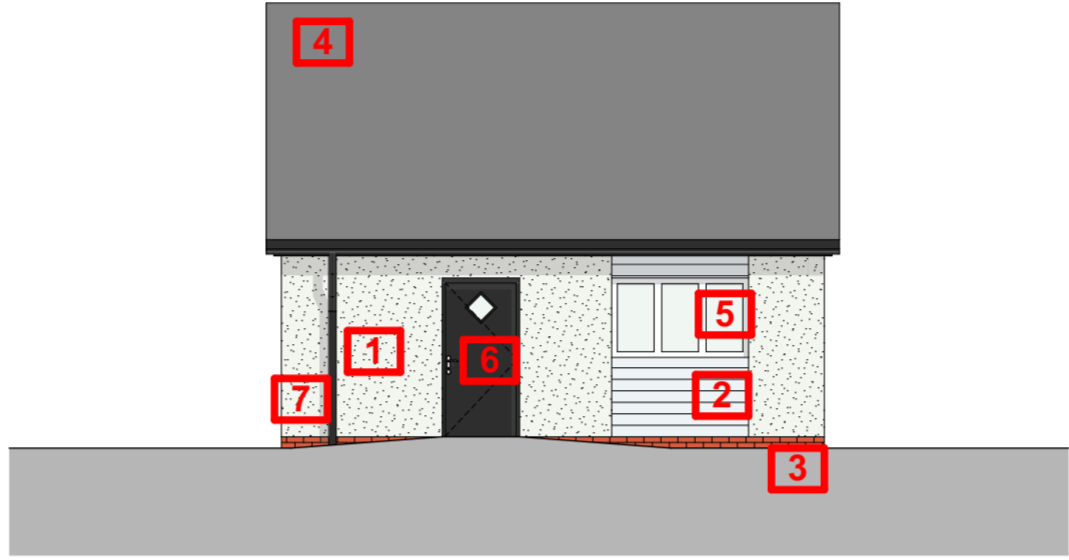
Drawing Title
 Sites 014 & 128 Thimbler Road Housetypes 1 of 2
 Project
 Coventry Garages
 Client
 [Redacted]
 Scales @ A2
 1:50, 1:100
 Job Number - Dwg. No. - Revision
 N1697 1323_ [3] - PLANNING
 First Issue Date
 December 2022
 [RIBA Stage] - Drawing Status
 Drawn
 RM
 Check
 MJ



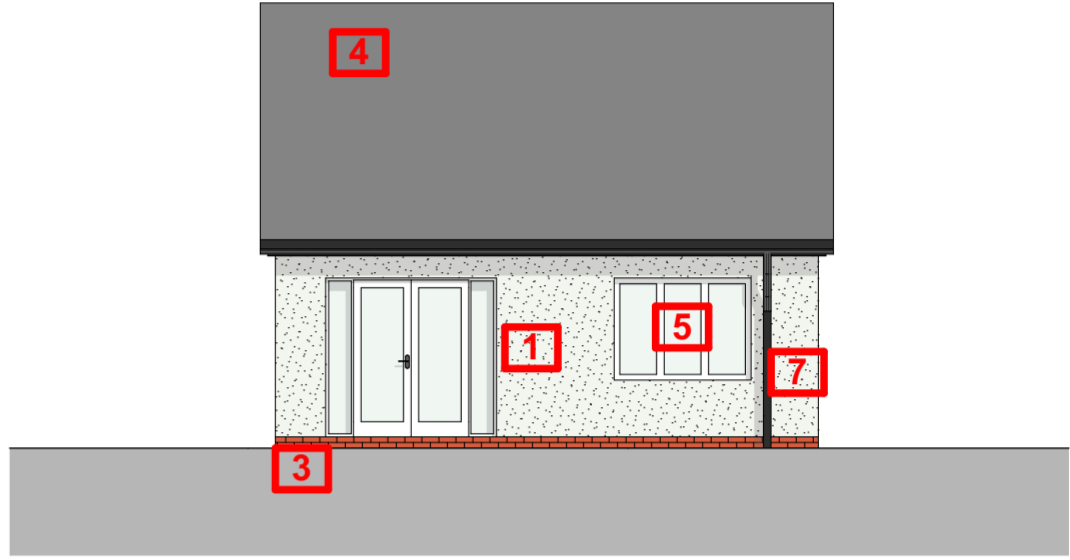
Thimbler Road 1B2P Bungalow GIFA - 58.4sqm



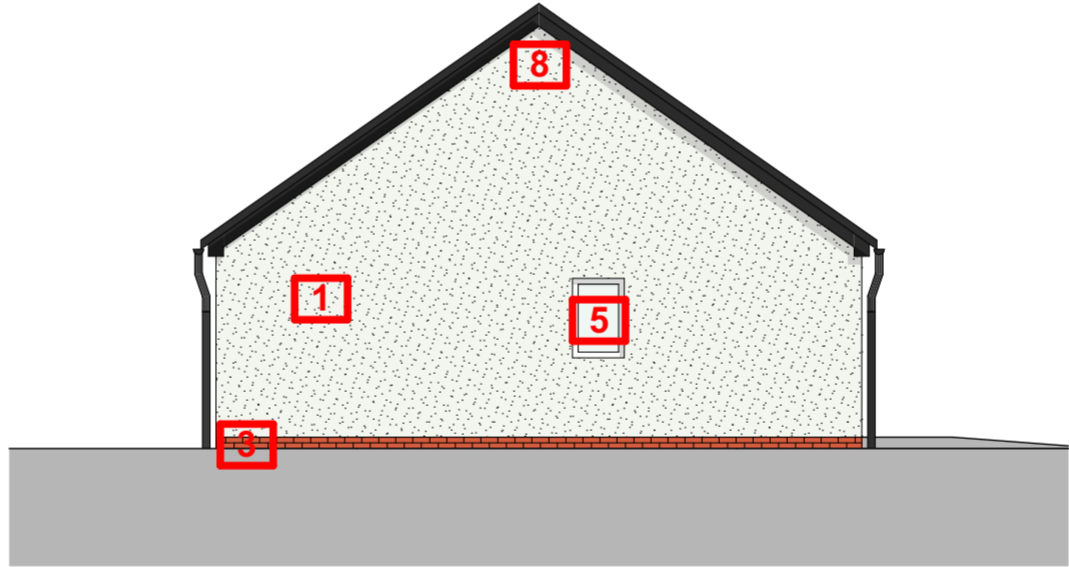
Ground floor plan
1:50



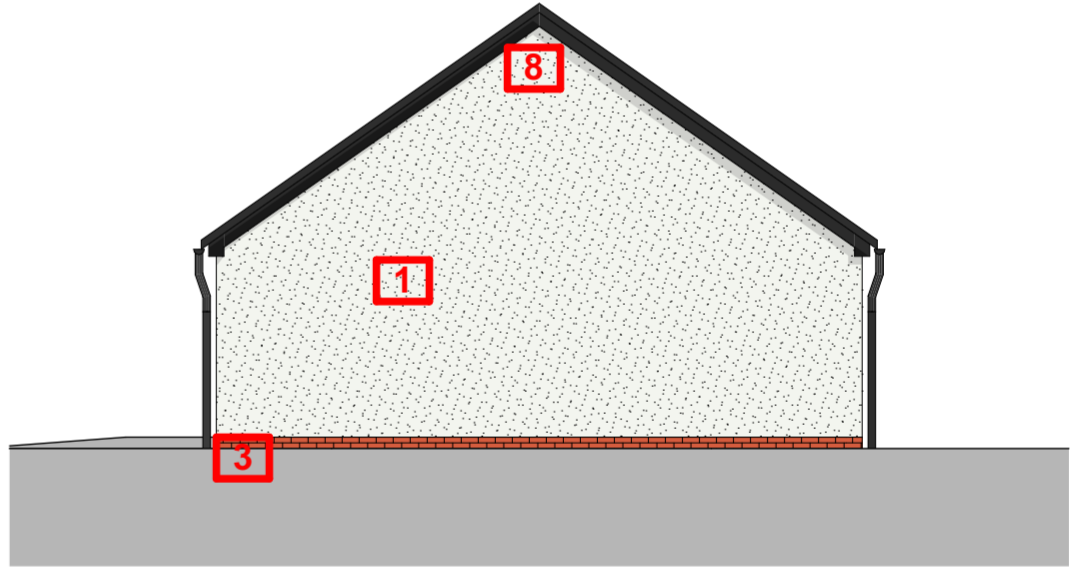
Front elevation
1:100



Rear elevation
1:100



Side elevation
1:100

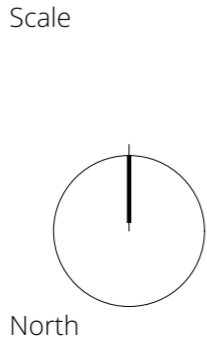


Side elevation
1:100

- 1** Render
White
- 2** Horizontal cladding feature panel
White composite board
- 3** Brick
Red brick below DPC level
- 4** Concrete roof tile
Grey/ brown to match surrounding buildings
- 5** Windows
White uPVC
- 6** Composite front door
Black uPVC
- 7** Rainwater goods
Black uPVC
- 8** Soffit/ fascia
White uPVC

Rev.	Date	Description	Drwn.	Check

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Offices at: Liverpool & Nottingham	Drawing Title		
Halsall Lloyd Partnership	Sites 014 & 128 Thimbler Road Housetypes 2 of 2		
Address	Project		
53 Forest Road East	Coventry Garages		
Post Code	Client		
NG1 4HW			
Issuing Office	Tel	1:50, 1:100	First Issue Date
Nottingham	0115 989 7969	December 2022	Drawn
Website	www.hlpdesign.com	Job Number - Dwg. No. - Revision	Check
		N1697 1324_ [3] - PLANNING	RM MJ

